

# aqua akar

BIM Design Service

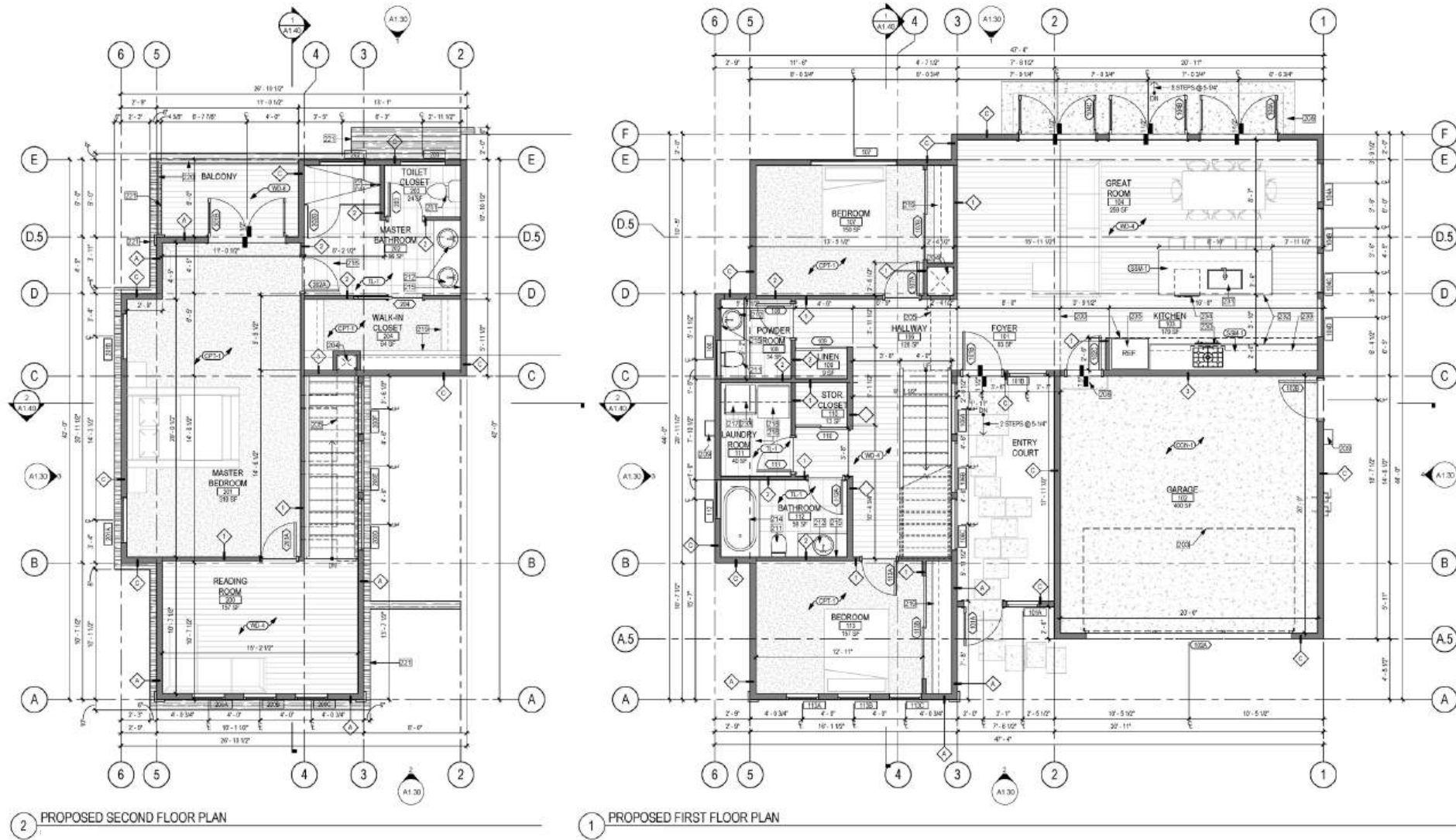
At Aquaakar, we deliver clarity and time for your design.



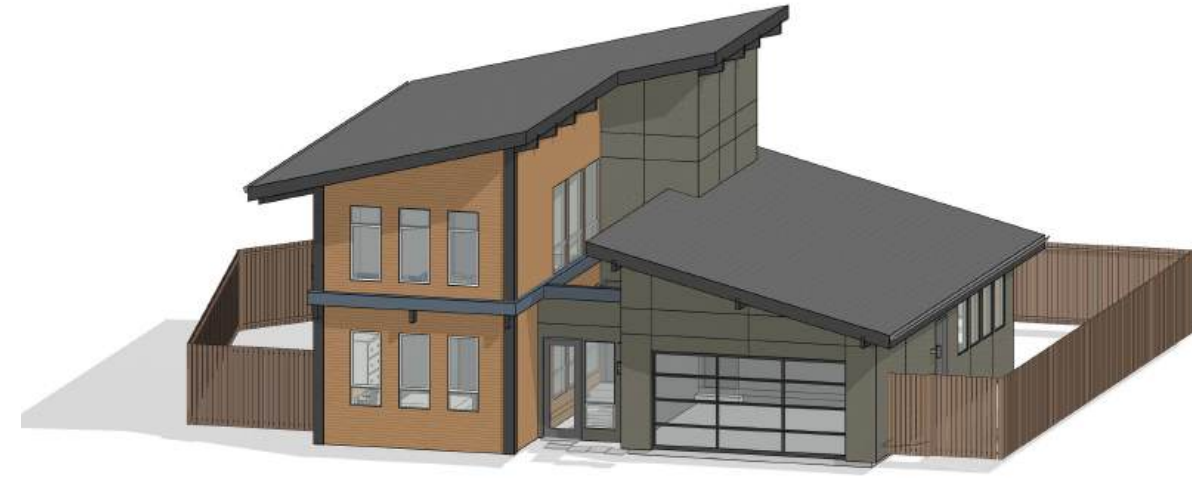
All design processes are unique, and so is the production outcome for each practice. We are a professional BIM Design service that provides a personalized approach to producing drawings for each design practice. Our team works comprehensively to deliver detailed architectural drawings using Autodesk Revit. Our objective is to provide architects, engineers, designers, realtors, and developers with extra time for creative work while we handle the documentation of drawings for the design. Our services include developing drawings for existing conditions, permit sets, and construction documents.

Our deliverables include:

- Building Information Modeling (BIM)
- 2D architectural drafting
- 3D architectural modeling
- PDF to 3D conversion
- Space planning
- Feasibility study
- Presentation drawings
- Permit sets
- Construction documents



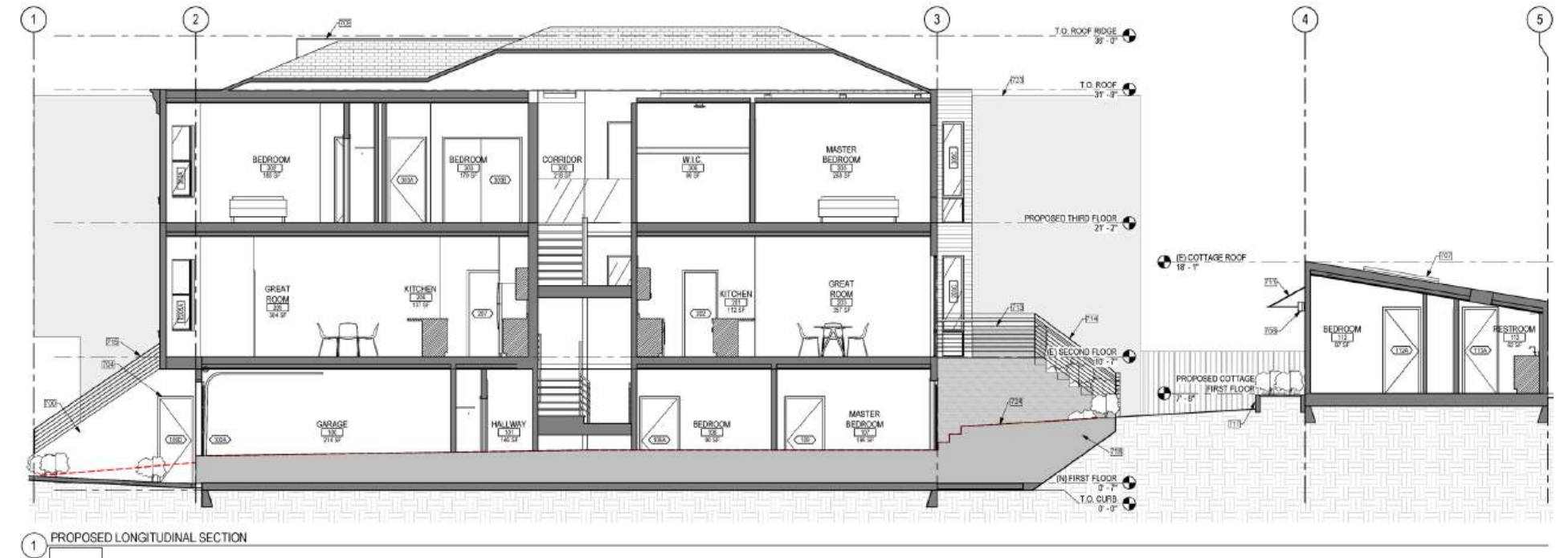
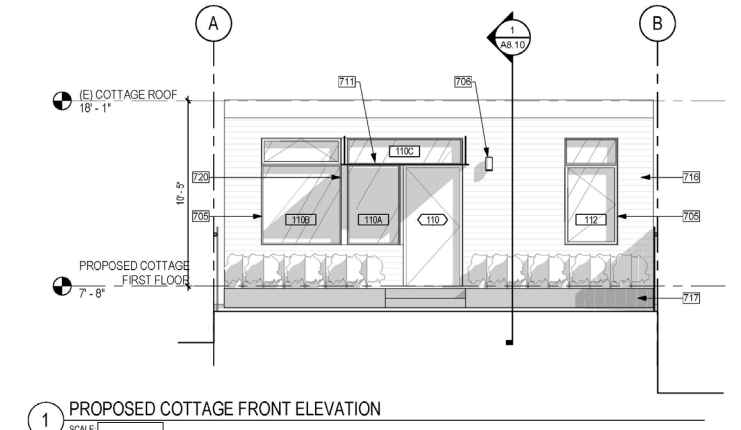
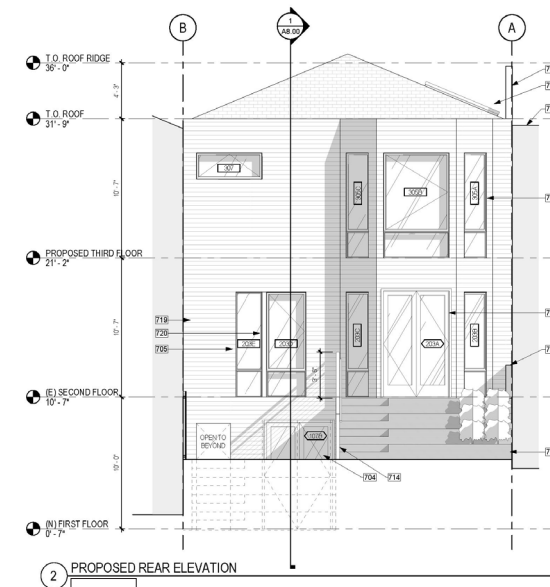
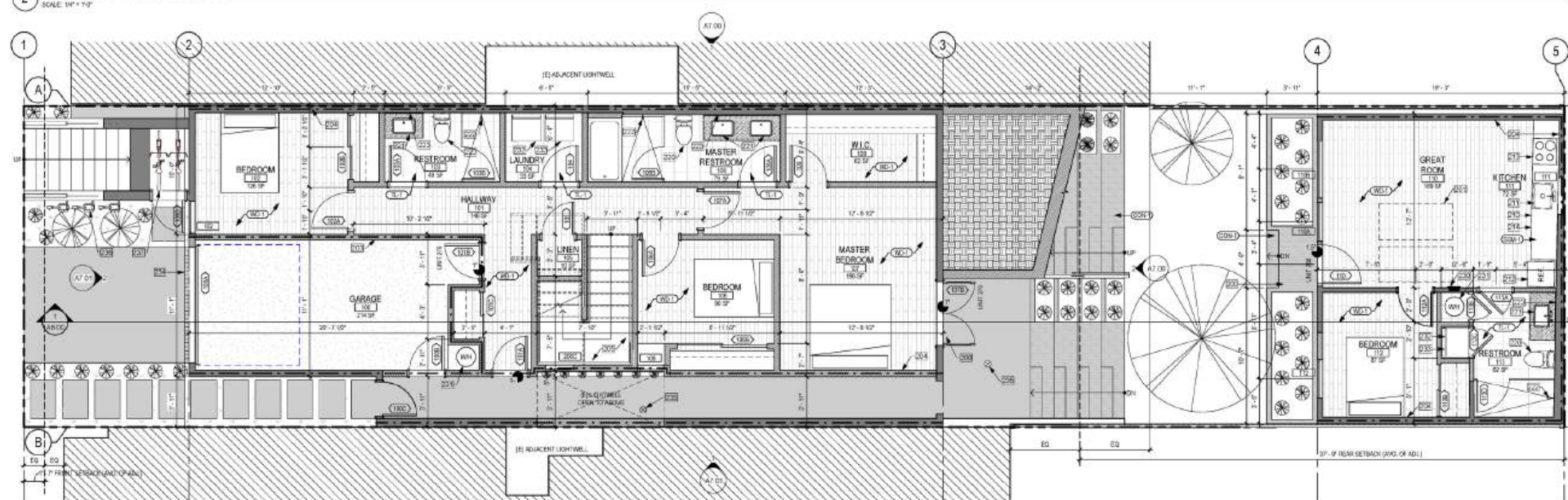
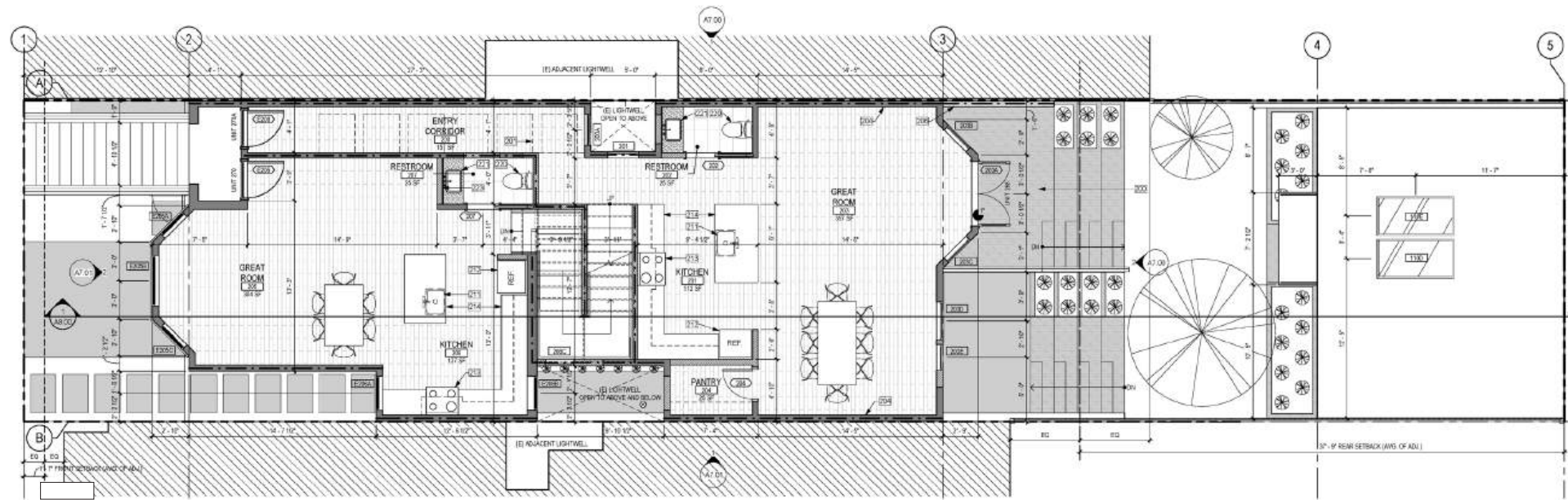
















**NEW SINGLE-FAMILY RESIDENTIAL**

AT	CENTERLINE	INSUL	INSULATION
ABV	ABOVE	INT	INTERIOR
A.C.U.	AIR CONDITIONING UNIT	JANITR	JANITOR
ALUM	ALUMINUM	JOINT	JOINT
ACC	ACCESS PANEL	LAV	LAVATORY
LD	LOAD	LVN	LINE
BLDG	BUILDING	MAX	MAXIMUM
BLK	BLOCK	MCH	MECHANICAL
BLG	BLOCKING	MFR	MANUFACTURER
SM	SEAM	MN	MIRIAM
BTM	BOTTOM	MISC	MISCELLANEOUS
CAB	CABINET	MTD	MOUNTED
CBC	CALIFORNIA BUILDING CODE	MTL	METAL
CLS	CEILING	NO. DR#	NUMBER
CLR	CLEAR	N.T.S.	NOT TO SCALE
COL	COLUMN	O.C	ON CENTER
CONC	CONCRETE	ORIG	ORIGIN
COIT	CONTINUOUS	OPR	OPPOSITE
CORR	CORRIDOR	FL	FLUTE
C.M.U.	CONCRETE MASONRY UNIT	PLYWD	PLYWOOD
D	DRYER	RAD	RADIUS
DBL	DOUBLE	R.O.D	ROOF DRAIN
DEPT	DEPARTMENT	REC	RECESSED
DET	DETAIL	REF	REFRIGERATOR
DIAM	DIAMETER	REQ.D	REQUIRED
DM	DOWN	RM	ROOM
DISP	DISHWASHER	SCHED	SCHEDULE
DN	DOWN	SECT	SECTION
DWR	DRAWER	S.F.	SQUARE FEET
DS	DOWNSPOUT	SHT	SHEET
DV	DISHWASHER	SM	SIMILAR
DWG	DRAWING	SPEC	SPECIFICATION
EA	ELEVATION	STD	STANDARD
ELEC	ELECTRICAL	STL	STEEL
EQ	EQUAL	STOR	STORAGE
EQPT	EQUIPMENT	STRUC	STRUCTURAL
EXT	EXTERIOR	T.C	TOP OF CURB
F.D.	FLOOR DRAIN	OR TOP OF CONCRETE	
F.F.	FRESH FLOOR	TEL	TELEPHONE
FIN	FLOOR	TEMP	TEMPERED
FLR	FLOOR	T	TEMPER
FLASH	FLASHING	THK	THICK
F.O.	FACE OF	T.O.P	TOP OF PLATE
F.P.	FRAPLACE	T.W.	TOP OF WALL
FTG	FOOTING	TYP	TYPICAL
GA	GALVE	UNL	UNLESS OTHERWISE NOTED
SALV	SALVAGED		
G.D.	GARAGE DISPOSER	VERT	VERTICAL
GR	GRADE	V.I.F	VERIFY IN FIELD
G.P.	GYPSONUM		
H.B	HOSE BIB	W	WASHER
H.M	HOLLOW METAL	WF	WATER CLOSET
HORIZ	HORIZONTAL	W.C	WATER CLOSET
HT	HIGHT	W.D	WOOD WITHOUT

**ARCHITECTURAL**

A001 COVER SHEET  
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A003 EXTERIOR 3D VIEWS  
A004 CALIFORNIA BLDG STDS CODES  
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A202 ROOF PLAN  
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A301 EXTERIOR ELEVATIONS  
A400 SECTIONS  
A401 SECTIONS  
A402 SECTIONS  
A403 SECTIONS  
A404 SECTIONS  
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A601 DOOR SCHEDULE  
A700 SPEC SHEETS  
A701 SPEC SHEETS  
A800 COLOR AND MATERIAL BOARD  
A900 DETAILS  
A901 DETAILS

**CIVIL**

C01.1 CIVIL SURVEY

**PROJECT TITLE**

NEW SINGLE-FAMILY RESIDENTIAL

**PROJECT DIRECTORY**

EXISTING LOT AREA:	19,860.0 SQ. FT. (0.46 ACRES)
PROPOSED FLOOR AREA (COOLING):	2,893 SQ. FT. (FIRST FLOOR AREA)
	2,212 SQ. FT. (SECOND FLOOR AREA)
	4,705 SQ. FT. (TOTAL)
PROPOSED FLOOR AREA (UNCONDITIONED):	458 SQ. FT. (2-CAR GARAGE)
	286 SQ. FT. (1-CAR GARAGE)
	429 SQ. FT. (COVERED PORCH & PATIO)
	509 SQ. FT. (COVERED TERRACE & DECK)
	1,673 SQ. FT. (TOTAL)

**ABBREVIATIONS**

APN NUMBER:	361-071-30, 361-071-63
LAND USE:	RSPR
ZONING CODE:	R-16 (SINGLE-FAMILY RESIDENTIAL 6,000 SQ. FT.)
OCCUPANCY:	R-3U (SINGLE-FAMILY RESIDENTIAL)
FIRE SEVERITY ZONE:	NO
FIRE ZONE:	4
CONSTRUCTION TYPE TYPE V-B:	
SPRINKLERED:	YES, PER NFPA 13D
EXISTING LOT AREA:	19,860.0 SQ. FT. (0.46 ACRES)
LEGAL DESCRIPTION:	NTR 0315 BLY LOT 43

**DRAWING INDEX**



**VICINITY MAP**

**APPLICABLE CODES**

2022 CALIFORNIA BUILDING CODE  
2022 CALIFORNIA RESIDENTIAL CODE  
2022 CALIFORNIA GREEN BUILDING STANDARDS CODE  
2022 CALIFORNIA MECHANICAL CODE  
2022 CALIFORNIA PLUMBING CODE  
2022 CALIFORNIA ELECTRICAL CODE  
2022 COUNTY OF LOS ANGELES FIRE CODE  
2022 CALIFORNIA BUILDING ENERGY EFFICIENCY STANDARDS CODE

**SCOPE OF WORK**

1. NEW SINGLE-FAMILY RESIDENTIAL BUILDING ON AN EXISTING RESIDENTIAL ZONED LOT. NEW RESIDENTIAL BUILDING TO INCLUDE:

- 3-STORY BUILDING
- 3-CAR GARAGE (2 + 1)
- 4 BEDROOM SUITES WITH ADJOINING BATHROOM AND WALK-IN CLOSETS
- GREAT ROOM
- KITCHEN
- DINING ROOM
- OUTDOOR COVERED PATIOS

2. SITEWORK

- NEW DRIVEWAY CONNECTING TO EXISTING STREET
- NEW HARDSCAPE & LANDSCAPE DESIGN

**PROJECT DATA**

MAXIMUM FLOOR AREA:	= 0.5
PROPOSED FLOOR AREA RATIO:	= 6,439 SQ. FT. / 19,860 SQ. FT.
REQUIRED YARDS:	= 20' - 0" (FRONT)
	= 20' - 0" (REAR)
	= 0' - 0" (INTERIOR SIDE)
REQUIRED PARKING SPACES:	3 COVERED SPACES
PROPOSED PARKING SPACES:	3 (COVERED IN GARAGE)
MAXIMUM HEIGHT LIMIT:	32'-0" (2 STORIES)
PROPOSED HEIGHT:	32'-0" (2 STORIES) OK

**LEGAL INFORMATION**

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**DRAWING SYMBOLS**



**DEFERRED SUBMITTALS**

SUBMITTAL DOCUMENTS FOR DEFERRED SUBMITTAL ITEMS SHALL BE SUBMITTED AND APPROVED BY THE BUILDING DEPARTMENT PRIOR TO INSTALLATION. DEFERRED SUBMITTALS ARE LISTED BELOW:

- FIRE SPRINKLERS (FIRE DEPARTMENT PERMIT)
- P.V. SYSTEM

**NEW SINGLE-FAMILY RESIDENTIAL**

**EXISTING 2-STORY SINGLE-FAMILY RESIDENCE**  
2611 E ECHO HILL WAY

**PROPOSED 2-STORY SINGLE-FAMILY RESIDENCE**  
2803 E ECHO HILL WAY

FIRST FLOOR: 2,893 SF  
SECOND FLOOR: 2,212 SF  
TOTAL: 4,705 SF

**EXISTING 2-STORY SINGLE-FAMILY RESIDENCE**  
2806 E ECHO HILL WAY

**KEYNOTE LEGEND**

REV VALUE	KEYNOTE TEXT
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**SITE SYMBOL LEGEND**

- BUILDINGS
- LANDSCAPE
- CONCRETE OR PAVED AREA
- CONCRETE BLOCK WALL
- PROPERTY LINE
- SETBACK LINE
- FENCE LINE

**APPLICABLE CODES**

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2022 CALIFORNIA RESIDENTIAL CODE  
2022 CALIFORNIA GREEN BUILDING STANDARDS CODE  
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2022 CALIFORNIA ELECTRICAL CODE  
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2022 CALIFORNIA BUILDING ENERGY EFFICIENCY STANDARDS CODE

**SCOPE OF WORK**

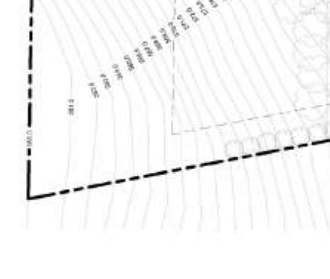
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**DRAWING SYMBOLS**



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2. CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS, DIMENSIONS AND ELEVATIONS BEFORE PROCEEDING WITH THE WORK.

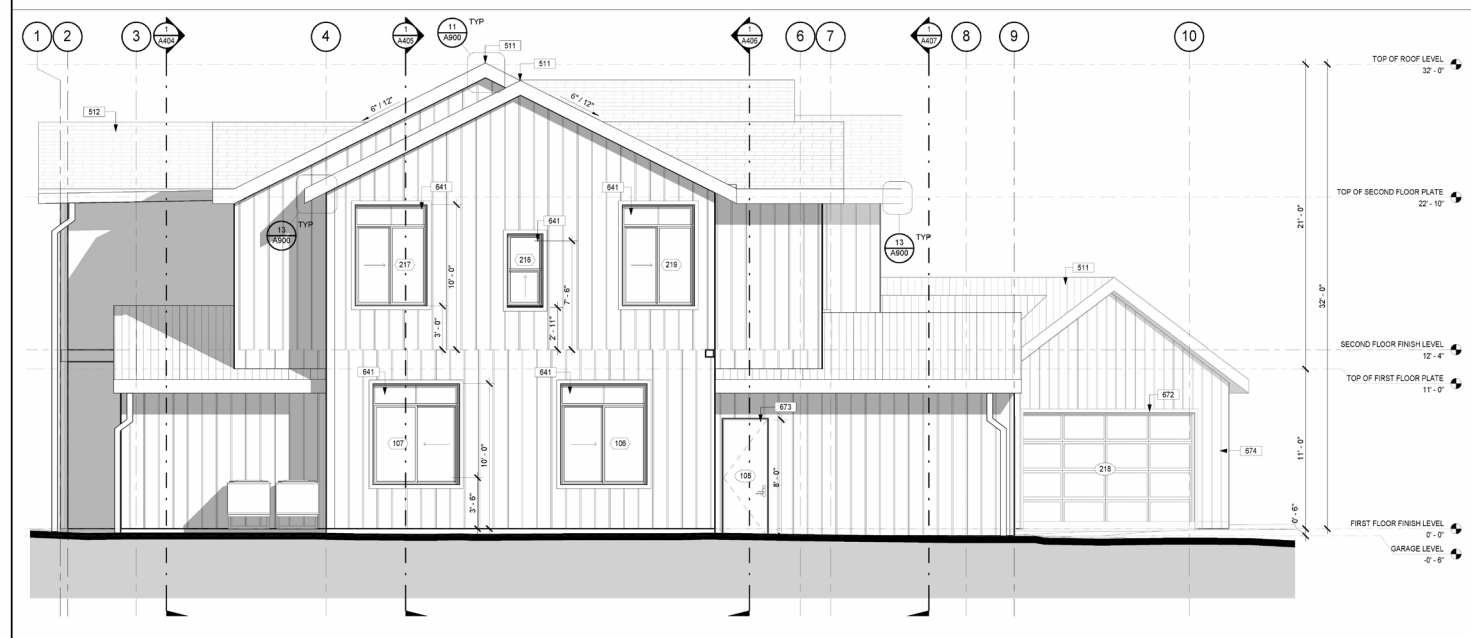
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4. REFERENCE TO ANY DETAIL OR DRAWING IS FOR CONVENIENCE ONLY AND DOES NOT LIMIT THE APPLICATION OF SUCH DETAIL OR DRAWINGS.





WEST ELEVATION 1



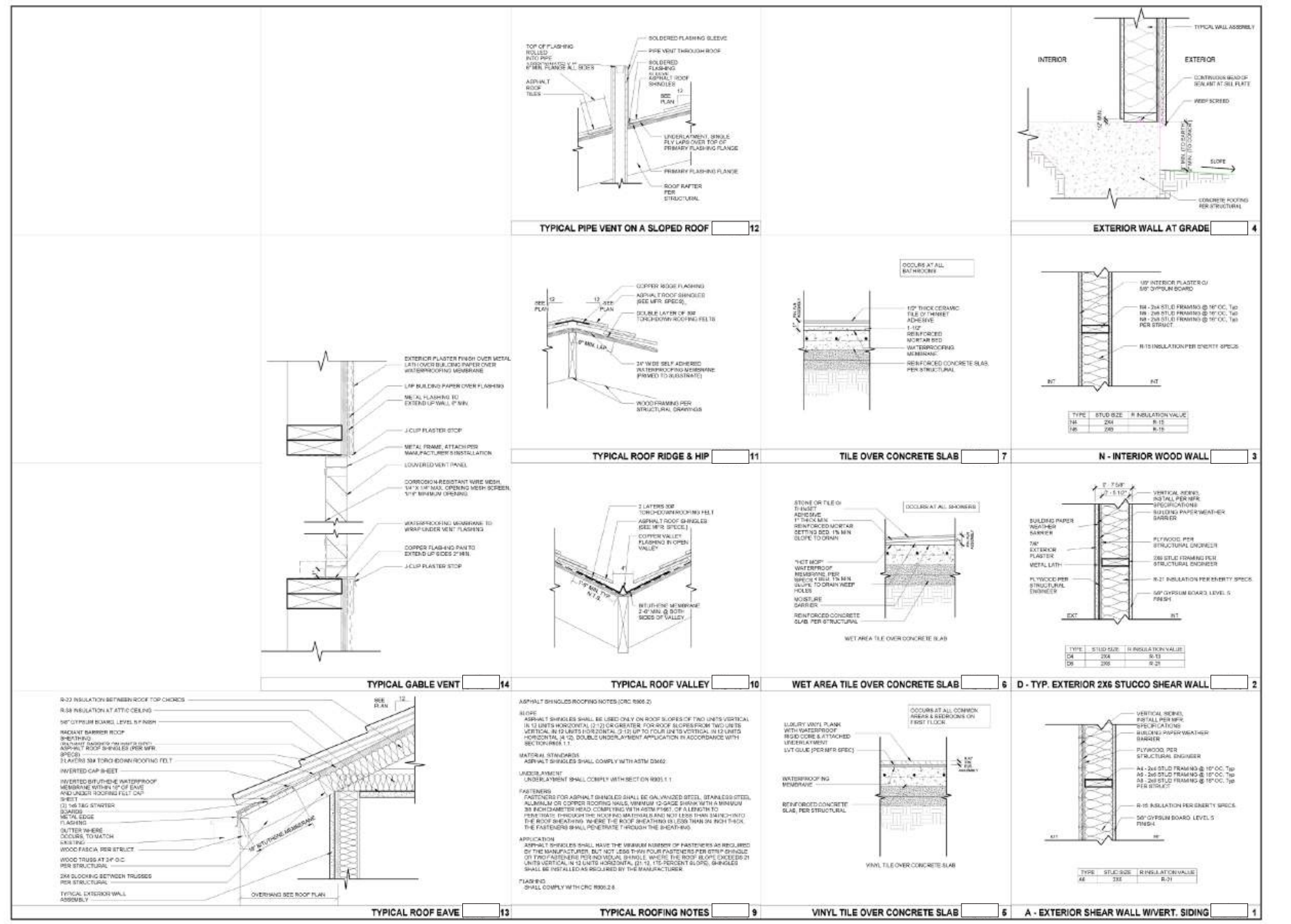
SOUTH ELEVATION 2

**KEYNOTE LEGEND**

KEY VALUE	KEYNOTE TEXT
505	SCUPPER & DOWNSPOUT
511	ROOF
512	PROPOSED CONCRETE ROOF TILES, CLASS A FIRE RETARDANT, COLOR AND STYLE TO MATCH EXISTING HOUSE, SEE SPEC 4000
541	ALUMINUM WINDOW, REFER TO WINDOW SCHEDULE
565	GLASS RAILING
572	GARAGE DOOR, REFER TO DOOR SCHEDULE
573	EXTERIOR DOOR, REFER TO DOOR SCHEDULE
574	EXTERIOR SHEAR WALL WITH VERTICAL SIDING

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- REFER TO STRUCTURAL FOR WALL FRAMING INFORMATION, U.N.D.
- GUTTERS SHALL BE PROVIDED WITH THE MEANS TO PREVENT THE ACCUMULATION OF LEAVES AND DEBRIS.
- UNDERSIDES OF EAVES SHALL BE PROTECTED IGNITION-RESISTANT MATERIALS OR NON-COMBUSTIBLE CONSTRUCTION.

ELEVATION GENERAL NOTES



TYPICAL PIPE VENT ON A SLOPED ROOF 12

TYPICAL ROOF RIDGE & HIP 11

TYPICAL GABLE VENT 14

TYPICAL ROOF EAVE 13

TYPICAL ROOFING NOTES 9

TILE OVER CONCRETE SLAB 7

WET AREA TILE OVER CONCRETE SLAB 6

VINYL TILE OVER CONCRETE SLAB 6

VINYL TILE OVER CONCRETE SLAB 6

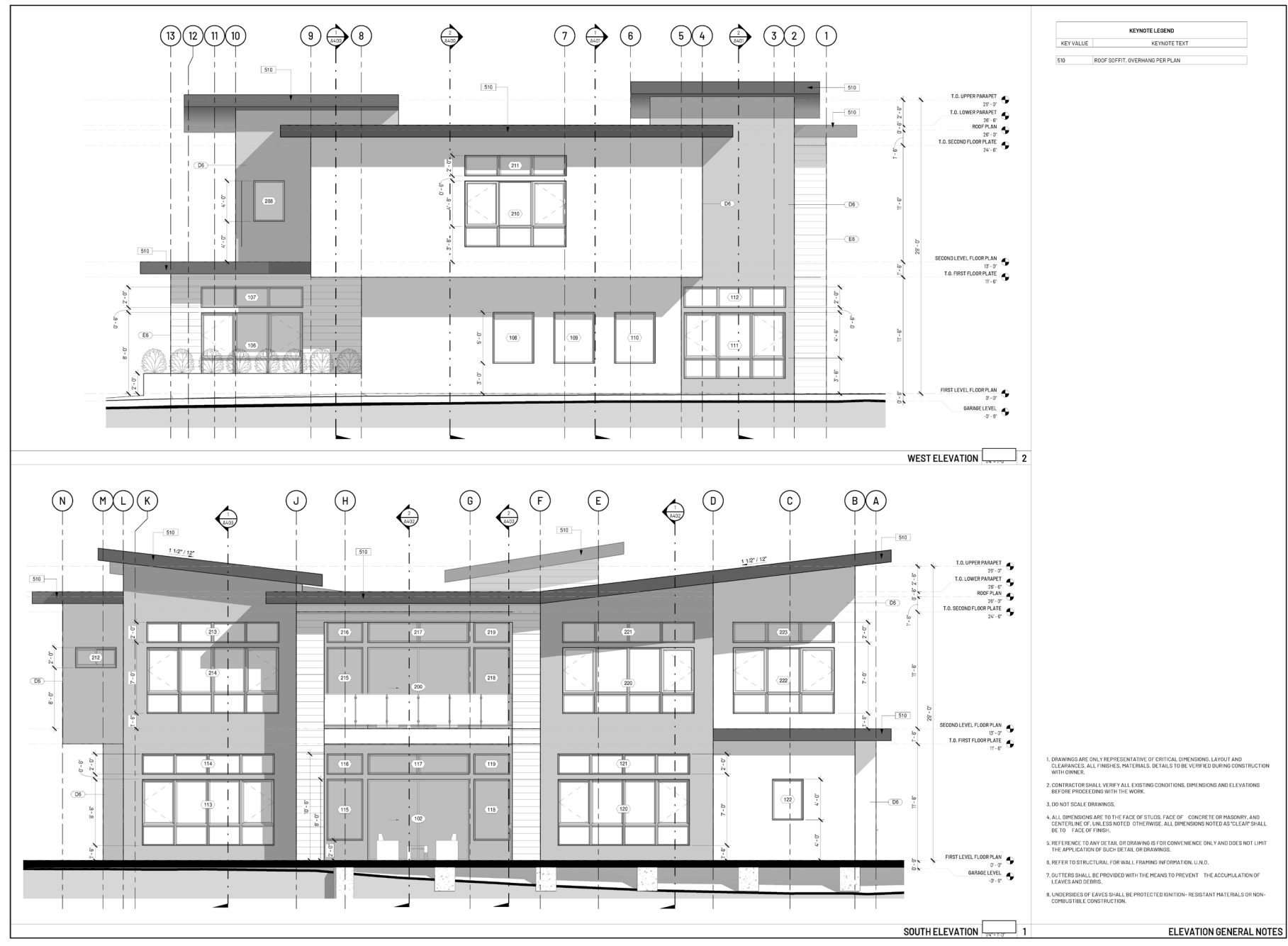
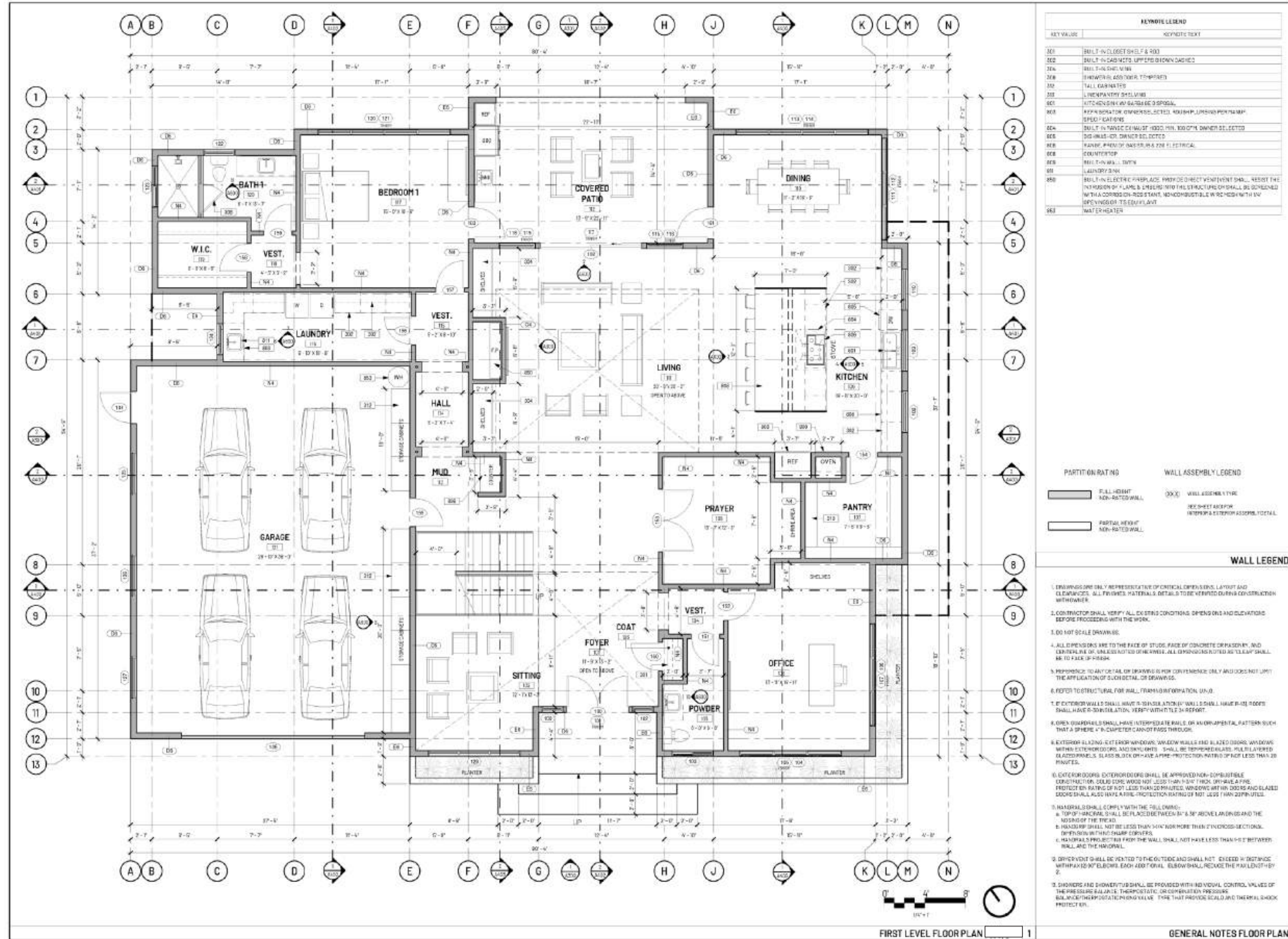
EXTERIOR WALL AT GRADE 4

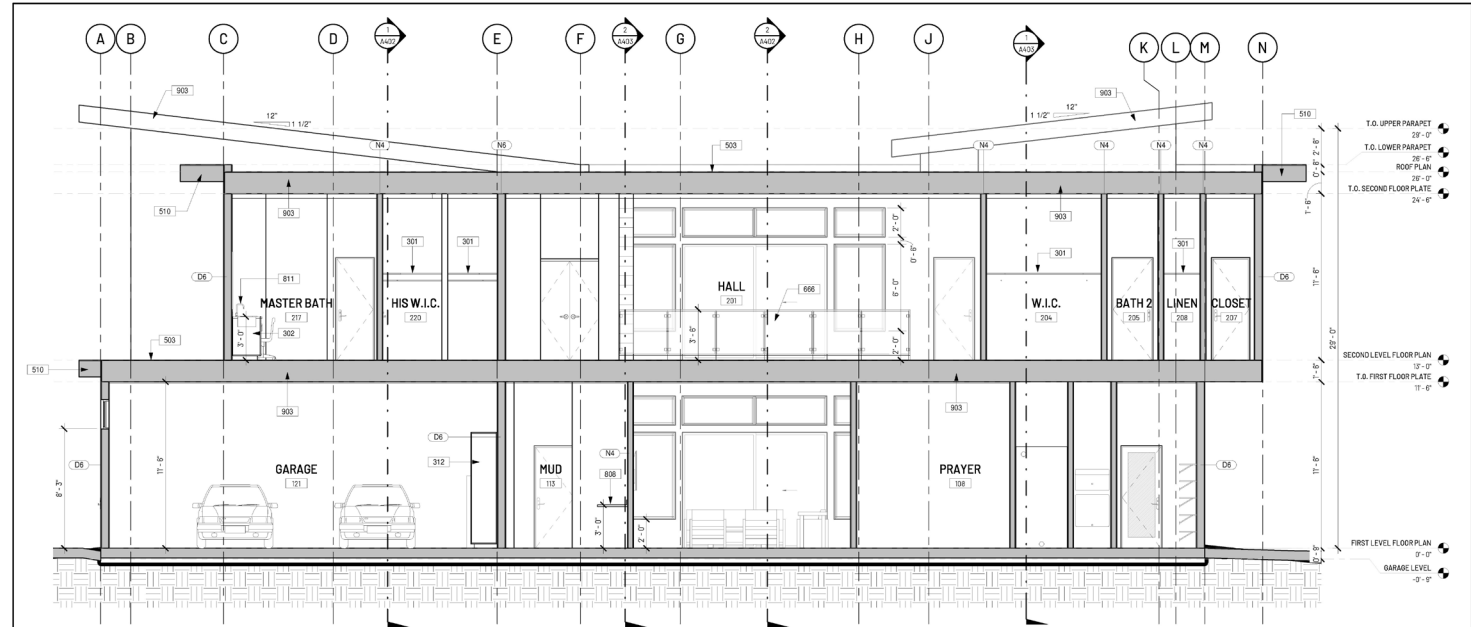
N-INTERIOR WOOD WALL 3

D-TYP. EXTERIOR 2X6 STUCCO SHEAR WALL 2

A-EXTERIOR SHEAR WALL W/VERT. SIDING 1

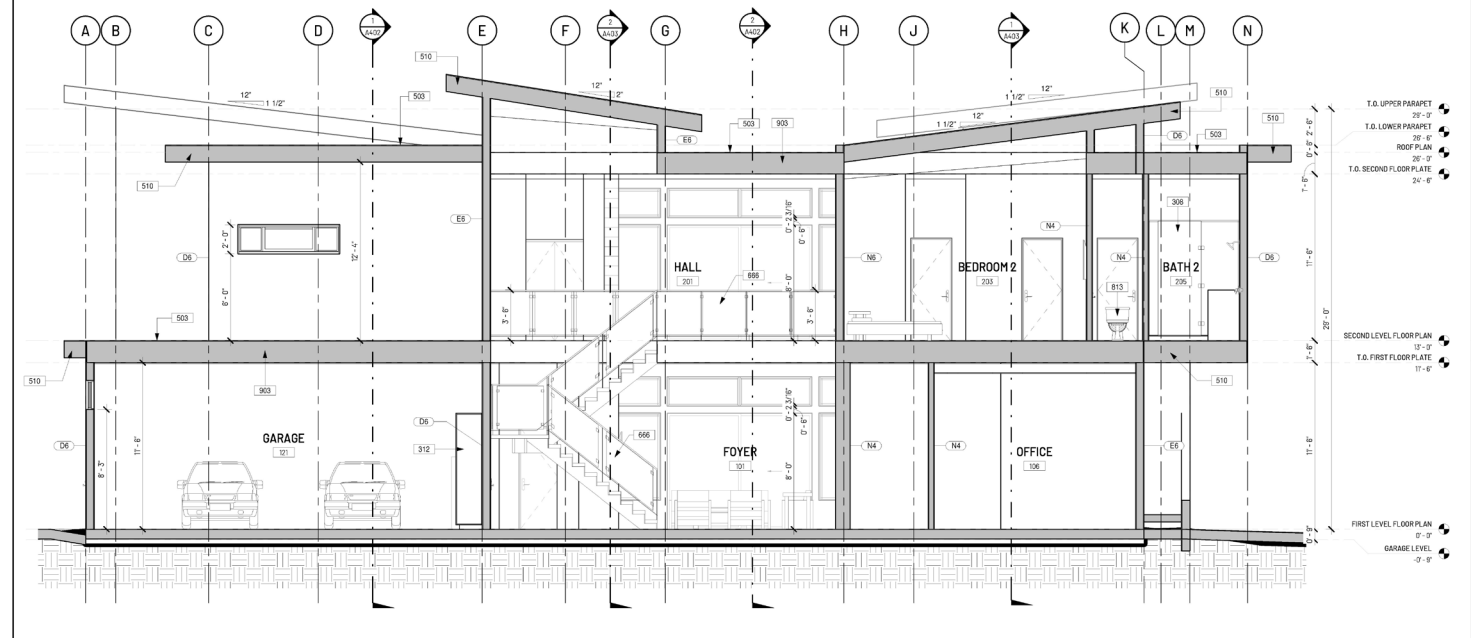






KEYNOTE LEGEND	
KEY VALUE	KEYNOTE TEXT
301	BUILT-IN CLOSET SHELF & ROD
302	BUILT-IN CABINETS, UPPIERS SHOWN DASHED
308	SHOWER GLASS DOOR, TIPPED
312	TALL CABINETS
303	50 MIL. CLASS TPO ROOFING MEMBRANE MECHANICALLY FASTENED PER MANUFACTURER REQUIREMENTS. PROVIDE FLASHING STRIP, ESR 4876, SEE SPECS ON A700
510	ROOF SOFFIT, OVERHAND PER PLAN
666	STAINLESS STEEL CABLE RAILING, MIN. 3/8" HEIGHT A.F.F., CABLE RAILS SPACED AT 3.9' O.C. SEE SPECS ON A700
808	COUNTERTOP
811	LAUNDRY SINK
813	TOILET
803	T.A. FLOOR, SEE STRUCTURAL

SECTION 2 2



INSULATION SCHEDULE	
ROOF	R-30 BATT
EXTERIOR WALLS	R-21 BATT
RESIDENTIAL FLOORS	R-15 BATT

NOTES:  
 1. SEE TITLE IN REVISION FOR ADDITIONAL INFORMATION  
 2. SEE GENERAL NOTES ON THIS SHEET FOR ADDITIONAL INFORMATION

SECTION GENERAL NOTES

- INSULATION SCHEDULE**
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  - BUTTERES SHALL BE PROVIDED WITH THE MEANS TO PREVENT THE ACCUMULATION OF LEAVES AND DEBRIS.
  - UNDERSIDES OF EAVES SHALL BE PROTECTED WITH NON-RESISTANT MATERIALS OF NON-COMBUSTIBLE CONSTRUCTION.
  - GRADES SHOWN ARE SCHEMATIC, SEE CIVIL DRAWINGS FOR DETAILED GRADES AND DRAINAGE.

SECTION 1 1



KEYNOTE LEGEND	
KEY VALUE	KEYNOTE TEXT
302	BUILT-IN CABINETS, UPPIERS SHOWN DASHED
303	BUILT-IN PANTRY
304	BUILT-IN BREAKFAST
308	SHOWER GLASS DOOR, TIPPED
312	TALL CABINETS
313	FRAMING OF COUNTERTOP WITH DRAWERS, NO CABINETS BELOW
314	FRAMING OF COUNTERTOP WITH DRAWERS, NO CABINETS BELOW
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  - CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS, DIMENSIONS AND ELEVATIONS BEFORE PROCEEDING WITH THE WORK.
  - DO NOT SCALE DRAWINGS.
  - ALL DIMENSIONS ARE TO THE FACE OF STUDS, FACE OF CONCRETE OR MASONRY, AND CENTERLINE OF UNLESS NOTED OTHERWISE. ALL DIMENSIONS NOTED AS "CLEAR" SHALL BE TO FACE OF FINISH.
  - REFERENCE TO ANY DETAIL OR DRAWING IS FOR CONVENIENCE ONLY AND DOES NOT LIMIT THE APPLICATION OF SUCH DETAIL OR DRAWINGS.
  - REFER TO STRUCTURAL FOR WALL FRAMING INFORMATION, U.L.D.
  - BUTTERES SHALL BE PROVIDED WITH THE MEANS TO PREVENT THE ACCUMULATION OF LEAVES AND DEBRIS.
  - UNDERSIDES OF EAVES SHALL BE PROTECTED WITH NON-RESISTANT MATERIALS OF NON-COMBUSTIBLE CONSTRUCTION.

ELEVATION GENERAL NOTES

















Harikrishna Patel is an accomplished architect and real estate developer with a Bachelor's degree in Architecture from the USA and over 7 years of experience across residential and commercial projects in the United States. With a strong entrepreneurial spirit and expertise in Building Information Modeling (BIM), Harikrishna uses Autodesk Revit to create highly detailed 3D models that align with clients' visions and agile project management techniques to deliver project goals.

His portfolio includes notable residential and commercial developments, where his advanced BIM knowledge supports all project phases, from design and analysis to documentation and coordination. Leading a skilled, Revit-trained team, Harikrishna ensures that each project benefits from streamlined workflows and precise, coordinated designs. As both an architect and a developer, he brings a unique understanding of project value from multiple perspectives, combining design precision with strategic insight to deliver efficient, high-quality outcomes on time and on budget. His dedication to excellence maximizes both client satisfaction and overall project value.



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